NOTES: Roads shown hereon shall be PRIVATE road easements sixty (60) feet in width, thirty (30) feet either side 10.22 acres SCALE ONE INCH EQUALS 300.00 FEET All cul-de-sacs shown hereon shall have a radius of sixty (60) feet. Concrete water tank on Tract 14 10.26 acres Tract 6, and Tract 14 La Niña Ranch each have a 1/2 interest in the water well located on the boundary Graphical Scale is in Feet BEARING NOTATION Bearing Basis derived from GPS observations in the State This property is subject to all easements and other matters of record in the Official Records of Duval Plane Coordinate System, NAD 1983 Texas South 4205 Zone, made on April 19, 2012, with all other bearings relative thereto. UTILITY EASEMENT AND BUILDING SETBACK LEGEND Tract 6 10.40 acres O Iron Stake set with cap marked "6163" All tracts have a one hundred (100) foot wide building setback line inside and parallel to the ● Fence Corner Post boundary lines of each individua Tract 11 10.10 acres DETAIL "A" X X Fence Line All tracts have a ten (10.00) foot PP Overhead Power Line wide utility easement inside and SCALE 1 INCH EQUALS 50.00 FEET ♦ Water Well parallel to the rear and side boundary lines of each individual Tract 12 10.24 acres (SAMPLE TRACT NOT TO SCALE) Tract 13 10.26 acres LA NIÑA RANCH Cabinet 2, Envelope 39-A Plat Records of Tract 14 Duval County, Texas 10.22 acres N72°35'59"W 156.96 Tract 15 Tract 8 10.24 acres 13.88 acres N72°35'59"W 10.34 acres Tract 16 boundary between Tracts 14 & 25 SEE DETAIL "A" 10.24 acres Tract 7 35.13 Acres N72°35'59"W N84°13'40"W Tract 17 10.24 acres 1020.00 Tract 6 N16*19'43"E 10.40 acres Tract 18 N72°35'59"W 10.24 acres San Diego Creek Drive Tract 19 Tract 5 10.23 acres N72°35'59"W 10.40 acres N72°32'06"W CREEK BEND RANCH Tract 9 Tract 10 Cabinet 2, Envelope 38-A 19.04 acres 10.80 acres Tract 4 Plat Records of 10.37 acres Tract 11 Duval County, Texas Tract 6 25.26 Acres Building Site Area Tract 3 10.41 acres Tract 2 Tract 12 10.10 acres 0.10 acres N74-13'40"W 10.10 acres S74 13 40"E 546.32" Creek Bend Jose Tovar N74-13'40"W Tract 13 Remainder of "132 acres" Drive 12.43 acres San Diego Creek described in Vol. 111, Pg. 131 S73°42'23"W ... 98.76' 543.64 N74.13'40"W Deed Records of Duval County, Texas 490.50 14.33 acres Tract 2 40.03 Acres Location of San Deigo Creek Ranch North Bank of / San Diego Creek NOTE: Map is not to any scale (N.T.S.) Tract 15 15.51 acres Tract 16 13.25 acres Tract 17 10.40 acres San Diego Creek San Diego Creek North Bank of San Diego Creek TOVAR SUBDIVISION Envelope 75, Side Plat Records of North Bank of San Diego Creek Duval County, Texas L1 S75°59'58"W 669.47' L20 N40°58'29"W 96.85' L2 N88°09'55"W 71.91' L21 N31°48'35"W 207.74' L3 S79°20'42"W 74.18' L22 N42°14'54"W 179.45' L4 S64°21'04"W 121.20' L23 N48°58'35"W 159.85' L5 S79°48'49"W 83.87' L24 N63°40'19"W 193.49' L6 N68°26'19"W 90.44' L26 N80°33'58"W 177.41' L7 S79°21'25"W 112.02' L26 N43°23'46"W 48.66' L8 \$79°48'47"W 175.99' L27 S80°44'14"W 91.76' L9 N77°04'22"W 122.89' L28 S80°12'48"W 124.52' L10 S87°01'06"W 39.74' L29 N84°04'08"W 94.14' L11 N81°42'07"W 206.43' L30 S79°43'40"W 291.27' L12 N72°39'45"W 168.46' L31 S84°03'05"W 79.31' L13 N72°39'45"W 135.44' L32 S77°05'05"W 173.40" L14 N58°24'01"W 316.76' L33 S39°42'55"W 60.59' L15 N48°54'10"W 218.78' L34 S61°17'52"W 235.39' L16 N36°06'22"W 119.57' L36 S68°42'57"W 229.27' L17 N42909'42"W 233.49' L36 S85°23'35"W 153.68' L18 N35°37'33"W 281.00' L37 N48°18'47"W 173.52' L19 N66°51'54"W 40.28'

Subdivision plat of San Diego Creek Ranch

A SUBDIVISION CONTAINING 202.35 ACRES OF LAND, MORE OR LESS, IN DUVAL COUNTY, TEXAS, OUT OF "SAN DIEGO DE ABAJO" JULIAN & VENTURA GRANT, AND BEING A SOUTH PORTION OF THAT LAND CALLED "423.82 ACRES" AND DESCRIBED IN A DEED TO IQ INVESTMENTS, LTD FILED OF RECORD IN VOLUME 551, PAGE 672 OF THE OFFICIAL RECORDS OF DUVAL COUNTY, TEXAS.

IMPORTANT NOTICE: THE PROPERTY YOU ARE BUYING MAY BE IN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF SAN DIEGO. THE CITY OF SAN DIEGO AND DUVAL COUNTY WILL NOT BE PROVIDING CITY SERVICES AND UTILITIES (INCLUDING BUT NOT LIMITED TO WATER, SEWER, GARBAGE PICKUP, PAVING, AND GUTTERS FOR ROADS) TO THE PROPERTY. THE CITY OF SAN DIEGO HAS NO PLANS TO EXPAND THE CITY LIMITS TO INCLUDE THE PROPERTY. THE DEVELOPER HAS NO PLANS TO PROVIDE SERVICES AND UTILITIES (INCLUDING BUT NOT LIMITED TO WATER, SEWER, GARBAGE PICKUP, PAVING, AND GUTTERS FOR ROADS) TO THE PROPERTY. THE PROPERTY IS SOLD "AS IS", "WITH ALL FAULTS WITHOUT UTILITIES OR SERVICES".

ROAD NOTATION

- 1) All roads having center lines shown as boundary lines between tracts are private road easements with a right-of-way width of sixty (60.00) feet. Except as otherwise noted, owners of the tracts adjoining said roads own property to the centerline of said roads. Owners must reserve a thirty (30.00) foot wide strip from the center line of the road easement for the benefit of the land owners in this subdivision and the Developer, its successors and assigns, for road purposes.
- 2) The road easements platted hereon are to remain private roads for the sole use and benefit of San Diego Creek Ranch subdivision property owners and Developer, its successors and assigns, for the purpose of ingress and egress, and for access to utility easements referenced hereon. These private roads HAVE NOT BEEN AND WILL NEVER be dedicated to public use, and Duval County is not
- 3) Said road easements are hereby dedicated as utility easements and a ten (10.00) foot wide strip of land for utility purposes, is reserved along and parallel to the rear and side property lines of all tracts or lots within the subdivision for the benefit of the owners of said tracts or lots, their heirs, successors, personal representatives, and assigns, forever, and which easements on every tract or lot may be used for utility service purposes to benefit any or all other tracts or lots and shall include the right of ingress and egress for construction, installation and maintenance, without limitation, of all types of utility services, and during periods of emergency or of repair, maintenance or construction, such additional widths of easement beyond the stated number above is temporarily granted as may be reasonably necessary to complete repairs, maintenance or construction or to address an emergency.

STATE OF TEXAS COUNTY OF KERR

I, the developer and owner of the land identified by abstract numbers recorded in the volume & page numbers shown on this plat, and whose name is subscribed hereto, in person or through a duly authorized agent, acknowledge that this plat was made from a current survey performed on the ground and that it is intended that the land will be subdivided as indicated on the plat. No portion of the land within the subdivision is to be dedicated to public use. I further represent that no liens, other than valid purchase money liens, affecting the land to be subdivided are in effect or of record, including, but not limited to, judgment, tax and mechanics' and material mans' liens, lis pendens or bankruptcy notices.

IQ INVESTMENTS, LTD.
Reginald A. Tuck
Vice-President and member of
LTI Long Term Investments, LLC.
the General Partner of IQ Investments, Ltd.
a Texas Limited Partnership.
1001 Water Street, Suite B200
Kerrville, Texas 78028
(830)257-5559/257-7692 Fax

STATE OF TEXAS
COUNTY OF DUVAL
This Final Plat of San Diego Creek Ranch subdivision was
Reviewed & Approved on this the day of Quot, 2013.

DUVAL COUNTY JUDGE

STATE OF TEXAS
COUNTY OF DUVA

COUNTY OF DUVAL

This Final Plat of San Diego Creek Ranch was filed

for record on the 13th day of Quguet, 2013 at 11:17 O'clock A.M. in Cabinet 2 at

Envelope 40 A of the Plat Records of Duvel County, Texas.

KNOW ALL MEN BY THESE PRESENTS:

DUVAL COUNTY CLERKY

WATER NOT PROVIDED TO TRACTS

NOTICE: Water will not be provided to tracts in the subdivision. Neither the owner, developer, nor subdivider intends to provide a supply of running water to the tracts or lots or owners of the tracts or lots in this subdivision. This limitation does not affect the water rights pertaining to the individual tracts or lots within the subdivision, nor does it modify or otherwise affect existing water supply facilities, for example, windmills, water tanks, troughs, pipelines, or the rights corresponding thereto. Neither the owner, developer, subdivider, nor Duval County guarantees the availability, depth, or amount of subsurface water on individual tracts or lots within this subdivision.

NO HUNTING FROM ROADS

Hunting of all kinds for all game or other animals, whether on foot or by vehicle, is prohibited on or from the roads shown on this plat, and this prohibition may be enforced by permanent injunction in any civil court of competent jurisdiction. HUNTING FROM A PUBLIC ROAD MAY BE A CRIMINAL OFFENSE.

RESTRICTION NOTATION

ALL TRACTS OF THE SAN DIEGO CREEK RANCH SUBDIVISION, SHOWN AND PLATTED HEREON, ARE SUBJECT TO DEED RESTRICTIONS AS FILED OF RECORD IN THE OFFICIAL RECORDS OF DUVAL COUNTY, TEXAS.

ALL TRACTS OF THE SAN DIEGO CREEK RANCH SUBDIVISION, SHOWN AND PLATTED HEREON, ARE SUBJECT TO EASEMENTS, RESERVATIONS, AND OTHER MATTERS FOUND OF RECORD IN THE OFFICIAL RECORDS OF DUVAL COUNTY, TEXAS.

SEWAGE AND WASTE FACILITIES

All sewage and waste facilities existing or to be installed or constructed within the subdivision shall comply with all applicable laws, rules, regulations, Court provisions and requirements as presently exist or as may hereafter be adopted. Prior to the installation of any septic system a permit must be obtained from the County.

CERTIFICATION BY ADMINISTRATOR OF

ON-SITE SEWAGE FACILITIES

I hereby certify that this proposed subdivision is subject to complying with the rules and regulations of the State of Texas and Duval County On-Site Sewage Facilities. Individual OSSF system selection will be made in conjunction with the site evaluation with respect to the individual site permitting process, in accordance with the 30TAC,

day of August , 2013.

Designated Representative for Duval County OSSF

FLOOD PLAIN INFORMATION

Approximate location of "special flood hazard area" shown on this plat was scaled from "Zone A" as shown on FIRM Map "Duval County, Texas (Unincorporated Areas)", Panel Number 480202-0009A Effective Date May 1, 1987 — base flood elevations have not been determined. The land shown in the "flood hazard area" lies within the areas referred to as "Zone A" on said FIRM maps. For additional information contact the County Flood Plain Administrator.

CERTIFICATION BY FLOOD PLAIN ADMINISTRATOR

I have reviewed and acknowledged the foregoing statement as applicable to the Duval County Flood Prevention Order.

Dated this the late day of August , 2013.

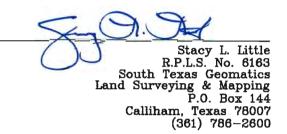
Flood Plain Administrator

NOTICE: All structures built on Tracts 9-17 of SAN DEIGO CREEK RANCH shall be built within the "Building Site Area" as shown on the plat as recorded in the plat record of Duval county. If a lot owner desires to place a structure in a flood hazard area as shown on San Diego Creek Ranch plat, they must obtain a Flood Development Permit from Flood Plain Administrator of Duval County and conforn to the requirements of the Flood Damage prevention Court Order for Duval County adopted February 11, 2011

STATE OF TEXAS
COUNTY OF MCCMULLEN

I hereby certify that this plat is an accurate representation of a survey as made on the ground, under my supervision and direction, and that there are no visible or apparent easements or encroachments, except as shown hereon.

Dated this the 9th day of August, 2013





SOUTH GEOMATICS

Land Surveying & Mapping
P.O. Box 144, Calliham, Texas 78007
(361) 449-0327

Stacy L. Little, R.P.L.S. #6163

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J.O.# 2013 6035 S.L.L.